

**HUNTERS**<sup>®</sup>  
HERE TO GET *you* THERE



# Bishport Avenue, Bristol, BS13



£225,000

A spacious three bedroom first floor duplex apartment presented in immaculate condition throughout, located in a popular location in South Bristol. This property would make a fantastic investment or perfect for anyone looking to get onto the property ladder. The property benefits from easy access to local amenities, short walk to schools and is also located close to the South Bristol Link Road. The property briefly comprises; open plan living/dining room/kitchen, three bedrooms, W/C and bathroom. Further benefits include an integrated garage. Call today to book a viewing!

## Communal Entrance

Access to the property via communal entrance. Stairs leading up to front door.

## Entrance Hallway

Access to the property through the front door into the hallway. Access to the bathroom and all three bedrooms. Storage cupboard. Stairs leading down to inner hall.

## Bedroom One

12'8" x 10'0"

Leading from the entrance hallway into bedroom one. Double glazed window to the side.

## Bedroom Two

10'3" x 9'11"

Leading from the entrance hallway into bedroom two. Double glazed window to the side.

## Bedroom Three

11'7" x 8'5"

Leading from the hallway into the bedroom three. Double glazed window to the side.

## Bathroom

6'10" x 6'4"

Leading from the hallway into the bathroom. Velux window. The bathroom consists of a W/C, wash basin and bath with shower above.

## Inner Hall

Stairs leading from the entrance hallway down to the the inner hall. Access to W/C and living/dining room/kitchen.

## Living/Dining Room/Kitchen

18'4" x 14'9"

Leading from the inner hall into the living/dining room/kitchen. Double glazed windows to the side and rear. Matching wall and base units. Space for fridge/freezer, cooker and washing machine. Stainless steel sink.

## W/C

Leading from the inner hall into the W/C, which consists of a W/C and wash basin. Access to large storage cupboard.

## Integrated Garage

Integrated garage located beneath maisonette. Access to garage via up and over door. Power & electricity.





## KEY FEATURES

- Ideal For Investors Or First Time Buyers
- Immaculately Presented Throughout
  - Three Bedrooms
  - Integrated Garage
  - Maisonette
- Local Schools & Amenities Nearby
- Large Open Plan Living/Dining/Kitchen
  - Popular Location
  - Call Today To View!
  - Close To Local Bus Route

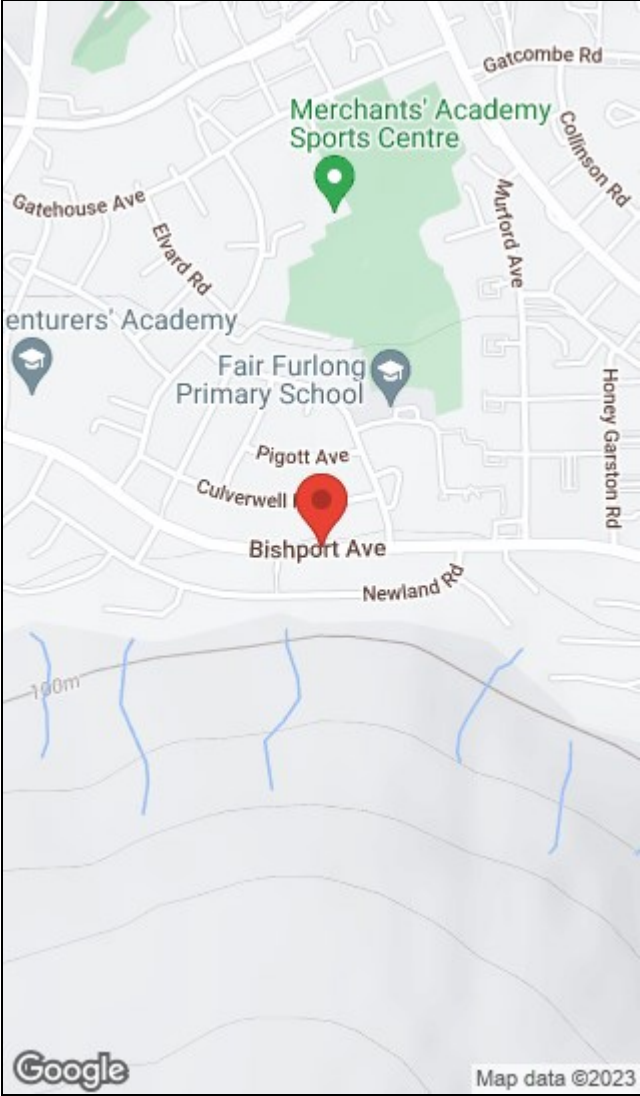












Energy Efficiency Rating			Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential		Current	Potential
Very energy efficient - lower running costs			Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) <b>A</b>			(92 plus) <b>A</b>		
(81-91) <b>B</b>			(81-91) <b>B</b>		
(69-80) <b>C</b>			(69-80) <b>C</b>		
(55-68) <b>D</b>			(55-68) <b>D</b>		
(39-54) <b>E</b>			(39-54) <b>E</b>		
(21-38) <b>F</b>			(21-38) <b>F</b>		
(1-20) <b>G</b>			(1-20) <b>G</b>		
Not energy efficient - higher running costs			Not environmentally friendly - higher CO <sub>2</sub> emissions		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC		<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

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